



<b>Date:</b>	Wednesday, January 25, 2023		
<b>Application Type(s):</b>	Official Plan and Zoning By-law Amendment (the "Applications")		
<b>Owner:</b>	Harshal Dave, c/o Unionville Re-Dev Corporation (the "Owner")		
<b>Agent:</b>	Marshall Smith, c/o KLM Planning Partners Inc.		
<b>Proposal:</b>	The Owner submitted Official Plan and Zoning amendment applications in support of a conceptual residential development including two stand-alone, four storey residential buildings, residential rear additions to the historic buildings addressed as 174 and 182 Main Street Unionville, and a new mixed use 3 storey building at 186 Main Street Unionville.		
<b>Location:</b>	The proposed development is located on the west side of Main Street Unionville, addressed as 160, 162, 166, 170, 174, 182, and 186, between Carlton Road and Fred Varley Drive (the "Subject Lands"), and are within the Unionville Heritage Conservation District.		
<b>File Number:</b>	PLAN 22 253770	<b>Ward:</b>	3
<b>Prepared By:</b>	Peter Wokral, Senior Heritage Planner, Ext. 7955 Heritage Planning		
<b>Reviewed By:</b>	Regan Hutcheson, MCIP, RPP Manager, Heritage	Stephen Lue, MCIP, RPP Senior Manager, Development	

**PURPOSE**

This preliminary information pertains to the Applications submitted by the Owner and contains general information on the applicable Official Plan policies and the identified issues, and should not be taken as Staff's opinion or recommendation.

## PROCESS TO DATE

Staff deemed the Applications complete on September 13, 2022. The 120-day period set out in the *Planning Act* before the Owner can appeal to the Ontario Land Tribunal for a non-decision ended on Tuesday, January 12, 2023. The Applications are currently under review by the City and other External Agencies.

## NEXT STEPS

- A Statutory Public Meeting is scheduled for February 27, 2023
- A Recommendation Report for consideration by the Development Services Committee (“DSC”)
- In the event of an approval, adoption of the site-specific Official Plan Amendment and Zoning By-law amendments
- Submission of a future Site Plan Control application

## BACKGROUND

### Subject Lands and Area Context

The 0.62 ha (1.53 ac) Subject Lands are divided into north and south development parcels by a City-owned right-of-way that provides temporary vehicular access to Parkview Public School to the west, and parking lots located behind historic and non-historic buildings fronting Main Street, as shown on Figures 1 and 2. Figure 3 shows the surrounding land uses.

***The proposed development includes the retention of four historic buildings, the demolition, or relocation of the historic barn (160 Main Street Unionville), the construction of two stand-alone, four-storey residential buildings, residential additions to the rear of existing heritage buildings (174 and 182 Main Street Unionville), and the demolition of the existing non-heritage building (186 Main Street Unionville) and the replacement with a new three-storey commercial/residential building (the “Proposed Development”), as shown on Figures 4 and 5.***

Table 1: the Proposed Development	
Residential Gross Floor Area:	9,482.8m <sup>2</sup> (102,072 ft <sup>2</sup> )
Retail Space:	2,127.0m <sup>2</sup> (22,895 ft <sup>2</sup> )

<b>Table 1: the Proposed Development</b>	
Dwelling Units:	63
Parking Spaces:	82 Residential/Visitor (22 stacked) and 10 Commercial (all indoors or underground)

***The Owner proposes to amend the Markham 2014 Official Plan (the “2014 Official Plan”) to permit the Proposed Development (conceptual). The following table summarizes the Official Plan Information.***

<b>Table 2: Official Plan Amendment Information</b>	
Current Designation:	“Mixed Use Heritage Main Street”
Permitted uses:	Wide range of commercial uses, with residential units above the ground floor, multi-storey commercial buildings, and multi-storey stand-alone residential buildings with a maximum building height of two storeys.
Proposal:	To amend the Official Plan to permit four storey buildings, stand-alone residential buildings, not having frontage on a public street (south parcel), residential units on ground floor in behind commercial uses (north parcel) in support of the Owner’s Proposed Development (concept).

***A Zoning By-law Amendment application is required to permit the Proposed Development***

The Proposed Development is subject to By-law 122-72, as amended, as shown in Figure 2.

<b>Table 3: Zoning By-law Amendment Information</b>	
Current Zone:	“Heritage Main Street”
Permissions:	Commercial uses, dwelling units above the ground floor, 10.7 m maximum building height (two-storeys)

**Table 3: Zoning By-law Amendment Information**

Proposal:	To amend the Zoning By-law to permit stand-alone residential buildings, residential units on the ground floor, four-storey buildings, and other site-specific development standards, including reduced parking requirements supportive of the Owner's Proposed Development (concept).
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***Staff identified the following preliminary list of matters that will be assessed through the review of the Applications, including other matters and issues, and addressed in a future Recommendation Report to the DSC***

**a) Conformity and Consistency with Provincial, and York Region and City Official Plan**

- i) The appropriateness of the proposed Official Plan amendment to permit the Proposed Development on the Subject Lands.
- ii) Review of the Proposed Development in the context of the existing policy framework, with regard to the applicable Zoning By-law, the Unionville Heritage Conservation District Plan, the 2015 Main Street Unionville Community Vision Plan, the 2018 Unionville Commercial Core Pattern Book- Village Design, and Architectural Guidelines.

**b) Community Benefits Charges By-law**

- i) The Applications will be subject to and reviewed in consideration of the City's Community Benefits Charges By-law (CBC) and contributions will be identified as part of any future amending Zoning By-law.

**c) Parkland Dedication**

- i) The Applications will be reviewed in consideration of the appropriate amount of parkland dedication and/or cash-in-lieu of parkland, and other financial contributions.

**d) Affordable Housing**

- i) The Applications will be reviewed in consideration of Provincial, Regional, and City polices to ensure that the Proposed Development provides an appropriate level, range, and mix of unit sizes and types to meet the City's affordable housing goals.

- ii) Incorporating appropriate affordable housing, purpose-built rental, secondary suites, seniors housing, and family-friendly units.

**e) Allocation and Servicing**

- i) The availability of water and sanitary servicing capacity for the Proposed Development must be identified and allocated by Council, if the Applications are approved. If servicing allocation is unavailable, the lands will be zoned with a Holding Symbol, which will be removed once servicing capacity is identified and allocated to the Subject Lands by Council.

**f) Review of the Proposed Development will include, but not limited to, the following:**

- i) Examination of whether the height, density, built form, and mix of land uses proposed are appropriate.
- ii) Evaluation of the proposed development and its compatibility with the existing and planned development within the surrounding area.
- iii) Traffic impact and ensuring the adequate supply of parking spaces for the commercial and residential uses.
- iv) The impact on and connectivity with the City's streetscape improvement project on Main Street Unionville.
- v) The submission of a future Site Plan Application will examine appropriate landscaping, site layout, snow storage areas, building elevations, and amenity areas.

**g) Sustainable Development**

- i) The Applications will be reviewed in consideration of the City's Policies and emerging Sustainability Metrics Program.

**h) Heritage Matters**

- i) The Applications will be reviewed to address the existing cultural heritage resources on the Subject Lands, and compliance with the policies and guidelines contained in the Unionville Heritage Conservation District Plan. Feedback from the Heritage Markham Committee will also be obtained.

**i) External Agency Review**

- i) The Applications must be reviewed by York Region, the Toronto and Region Conservation Authority, and Metrolinx and any applicable requirements must be incorporated into the Proposed Development.

**j) Required Future Applications**

- i) The Owner must submit applications for Site Plan, and Draft Plan of Condominium should the Applications be approved, to permit the Proposed Development and facilitate the standard condominium tenure of the building.

**Accompanying Figures:**

Figure 1: Location Map

Figure 2: Aerial Photo

Figure 3: Area Context and Zoning

Figure 4: Conceptual Site Plan

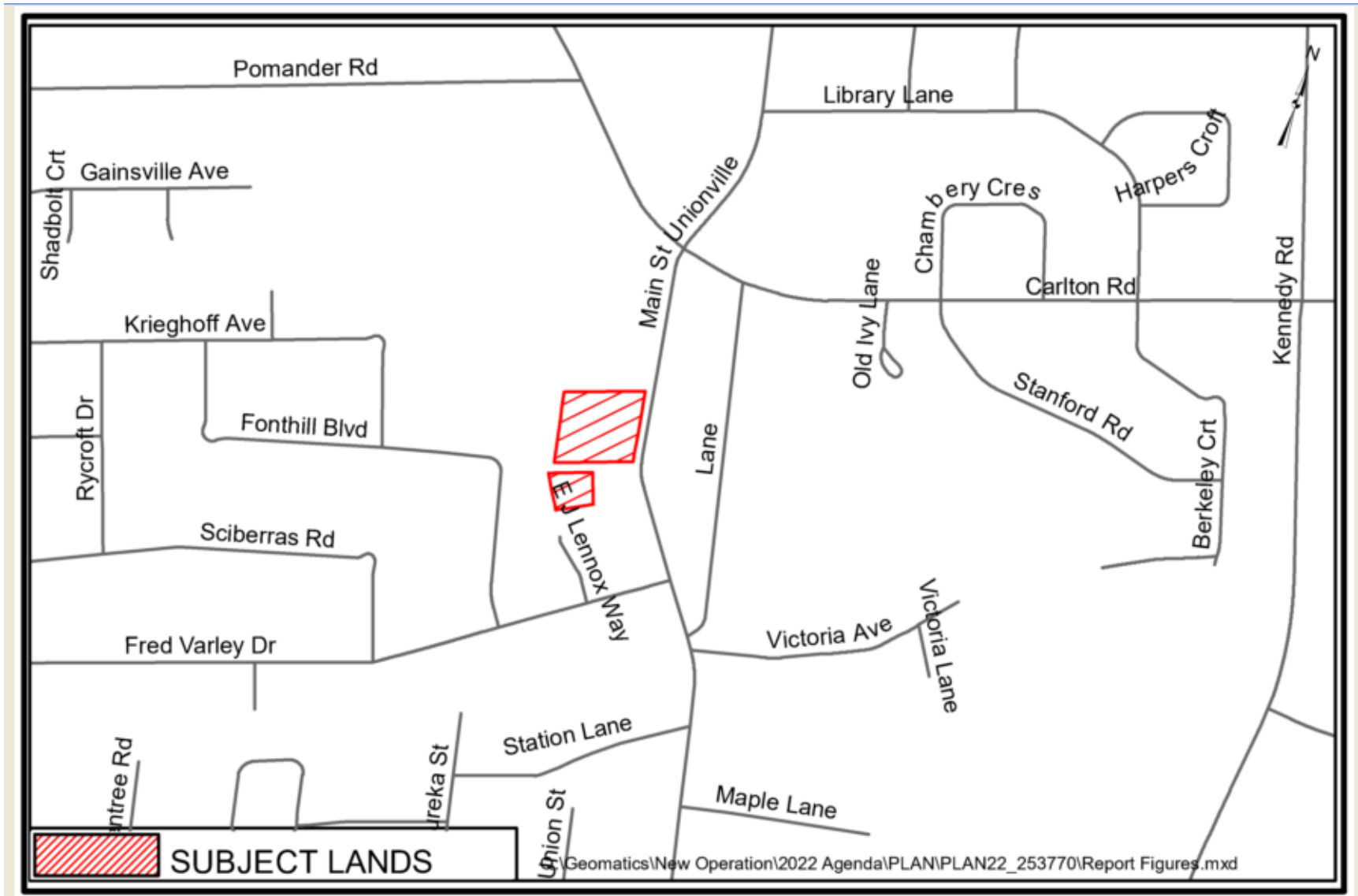
Figure 5: Conceptual Renderings

Figure 6: Conceptual Renderings

Figure 7: Conceptual Rendering

Figure 1

Location Map



# Figure 2

## Aerial Photo

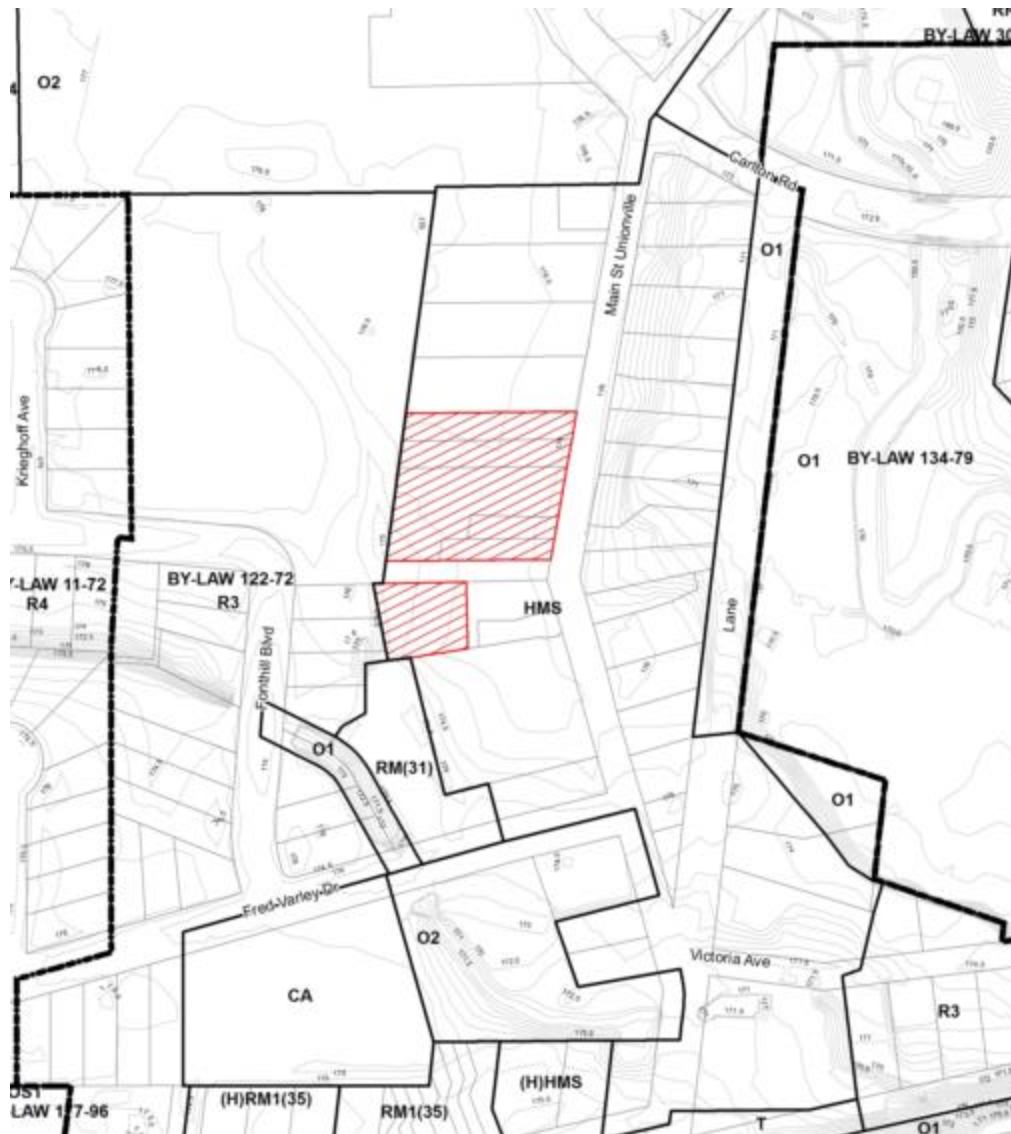


 SUBJECT LANDS



# Figure 3

## Area Context and Zoning



 SUBJECT LANDS

Figure 4

Conceptual Site Plan



## Figure 5

### Conceptual Renderings



## Figure 7

### Conceptual Renderings



## Figure 8

### Conceptual Rendering



View looking east from Parkview Public School